

# General Residential Zone

# Preferred Character Review Summary Document

November 2021





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## Executive Summary

Bayside City Council has a comprehensive planning framework in place to manage housing growth, which includes designating areas more suited to accommodate growth and change. Across Bayside, these areas are primarily located in 'activity centres' and the residential areas around them, due to their proximity to shops, transport and other services.

In most of Bayside's residential growth areas, land is zoned General Residential Zone (GRZ) which provides for moderate levels of growth restricted to 3 storeys. Managing the impact of growth is something regularly raised by our community and we are currently reviewing the controls in place to manage the impact of new development on the 'character' of these areas.

This document provides a high level summary of the existing controls in place and how we may be able to improve the operation of these controls, to bring them into line with current planning scheme requirements and to ensure that the outcomes sought in these change areas are enhanced.

## Introduction

The purpose of this review is to prepare preferred character statements for the General Residential Zone (GRZ) areas of Bayside. This review examines the existing character of each GRZ area and documents the preferred future character in order to prepare character statements to provide clarity for future development.

## Rationale for Review

The current planning policy in place does not provide clear guidance for the preferred future character for the GRZ areas within and around Bayside's activity centres. Both Council and the community value the character of their streets and hence want to retain the existing character. However, the areas within the GRZ are strongly supported by state and local policies to accommodate medium density residential development. As a result, Council needs to undertake additional research and evaluation on what is required to achieve the difficult balance between accommodating growth and respecting character.

Bayside's activity centres have a range of development pressures and Council has cited character (both streetscape and neighbourhood), as a reason of refusal in number of planning decisions that have subsequently been varied or overturned at VCAT. Through analysis of VCAT cases, it has been identified that Bayside's local policies should provide greater clarity regarding preferred character and the design expectations within these activity centres.

Clause 02.02 of the Bayside Planning Scheme sets out Bayside's vision that it *"will be a city which protects and enhances the quality and character of the natural and built environment through environmentally sustainable development and management of land."* This protection of character however, must be balanced with the need to accommodate housing growth. This issue is addressed through Clause 15.01-5L which states the objective *"to encourage development that accommodates the need for change around activity centres while respecting the desired future character of the area"*. Clause 02.04 contains the residential strategic framework map that identifies the municipality's different residential growth areas, mainly being the activity centres. Clause 11.03-1L provides objectives and strategies to all the activity centres within Bayside Council. The areas covered within the activity centre boundaries include the general residential zoned land around the commercial cores identified as 'Residential Areas'. The clause seeks these residential areas to provide transition between the business precinct and the low scale residential hinterland. However, none of the policies provide a clear guidance on how a new development is meant to achieve this

balance and transition. Further, through Planning Scheme Amendment C140 it was identified that there is a need to provide clear direction in relation to the preferred future character for housing growth areas.

There is currently a tension between the local policies (stated above) and the Design and Development Overlays (DDOs) that apply to each GRZ property. Clause 15.01-5L provides character statements which states the preferred future character and precinct guidelines for land in residential and mixed-use zones. However, the guidelines refer to a larger area that includes sub precincts within the activity centres as defined by the DDOs as well as the areas outside the activity centres. This creates a discrepancy as land outside the activity centre (generally NRZ) limits development whereas land within the activity centre (generally CZ and GRZ) is meant to accommodate medium density development.

As a result, the GRZ preferred character controls need to be reviewed so that the appropriate balance between accommodating growth and protecting character is struck.

### **What makes the character of an area?**

There are several components that collectively form the character of an area. These can broadly be summarised as follows:

#### **Public realm**

*The presence of street trees.*

*The width and formality of road reserves.*

*The presence of crossovers.*

*Verges and formalisation of footpaths and kerbs.*

#### **Front setbacks**

*Setback size and depth.*

*Provision of landscaping.*

*The presence of driveways.*

#### **Building scale, spacing and massing**

*Roof pitch and form.*

*Upper level setbacks.*

*Building articulation.*

*The use of materials.*

*Window and door fenestration.*

#### **Rhythm of the street**

*Lot size, width, layout and street alignment.*

*Building siting and positioning.*

*Roof pitch and height.*

*Side setbacks.*

#### **Building address**

*Dwelling entries.*

*Verandahs and porches.*

*Garages and car parking structures.*

#### **Rear interface or 'backyardscape'**

*Size and form of backyards.*

*Landscaping and tree planting.*

*The presence of built form in rear yards.*

*Fencing.*

While neighbourhood character is broad and considers a number of social and built form factors, there are limitations to what can be considered. Architectural styles are not, of themselves,

characteristic of an area. This is a clear consideration, having regard to a 'respect' for character not resulting in mimicry or copying.

Character is also not about residential amenity. While the character of an area may result in an aesthetic environment that has a good level of amenity, character policy does not seek to protect the amenity of an area.

Equally, character must be differentiated and understood separately from heritage. Heritage significance is determined by a recognised set of criteria set by Commonwealth and State agencies, having regard to the Burra Charter.

### **How will preferred character controls be implemented?**

Once the updated character objectives have been confirmed, a planning scheme amendment will begin to give effect to the objectives in planning policy. This is expected to be through new schedules to the GRZ that are specific to the outcomes sought in each precinct.

### **What cannot be influenced through these controls?**

The following elements cannot be influenced through preferred character controls:

- Building height
- Subdivision
- Land use

While these elements can impact the character of an area, they are not addressed through the preferred character objectives in the Bayside Planning Scheme. These elements still have regulations; however they are located in a different section of the Scheme.

## State Policy Context

### Plan Melbourne

Plan Melbourne is the state's overarching planning strategy, providing a comprehensive long-term plan for the city's growth up until 2050. The plan establishes seven key outcomes to strive for in creating a competitive, liveable and sustainable city. Below are the most relevant to character:

#### Outcome 2: "Melbourne provides housing choice in locations close to jobs and services".

This outcome aims to ensure growth is planned and managed in a way that maintains the city's liveability. Growth areas require public transport, schools, roads, hospitals and jobs. Middle-ring suburbs are well served with jobs and services and can provide greater housing choices in these locations, but development must be carefully managed.

Below are some of this outcome's most relevant directions and policies to Bayside's GRZ preferred character review:

Direction 2.1 – Manage the supply of new housing in the right locations to meet population growth and create a sustainable city

- Policy 2.1.2 – Facilitate an increased percentage of new housing in established areas to create a city of 20-minute neighbourhoods close to existing services, jobs and public transport
- Policy 2.1.4 – Provide certainty about the scale of growth in the suburbs

Direction 2.2 – Deliver more housing closer to jobs and public transport

- Policy 2.2.3 – Support new housing in activity centres and other places that offer good access to jobs, services and public transport

Direction 2.5 – Provide greater choice and diversity of housing

- Policy 2.5.1 – Facilitate housing that offers choice and meets changing household needs

#### Outcome 4: "Melbourne is a distinctive and liveable city with quality environments".

This outcome aims to design a version of the city and state that, while protecting the best aspects of the natural and built environment, supports social and cultural diversity and economic activity and creates a sense of place.

Below are some of this outcome's most relevant directions and policies to Bayside's GRZ preferred character review:

Direction 4.1 – Create more great public places across Melbourne

- Policy 4.1.1 – Support Melbourne's distinctiveness

Direction 4.3 – Achieve and promote design excellence

- Policy 4.3.1 – Promote urban design excellence in every aspect of the built environment

Direction 4.4 – Respect Melbourne's heritage as we build for the future

- Policy 4.4.1 – Recognise the value of heritage when managing growth and change
- Policy 4.4.2 – Respect and protect Melbourne's Aboriginal cultural heritage

Direction 4.6 – Strengthen community participation in the planning of our city

- Policy 4.6.1 – Create diverse opportunities for communities to participate in planning

#### Outcome 5: “Inclusive, vibrant and healthy neighbourhoods”.

This outcome aims to ensure that the fundamentals of a strong and sustainable neighbourhood—from shops to schools to parks to local facilities to local jobs—are all in place and easily accessible by walking and cycling paths or public transport. Strong and sustainable communities enjoy good access to local services, jobs, amenities and social infrastructure, a rich social and cultural life, voice and influence, and room to grow.

Below are some of this outcome’s most relevant directions and policies to Bayside’s GRZ preferred character review:

Direction 5.1 – Create a city of 20-minute neighbourhoods.

- Policy 5.1.1 – Create mixed-use neighbourhoods at varying densities
- Policy 5.1.2 – Support a network of vibrant neighbourhood activity centres

#### **Planning Practice Notes (PPNs)**

The Victorian State Government provides guidance on various aspects of drafting and implementation of local planning schemes in the form of Planning Practice Notes (PPNs). PPN90: Planning for Housing and PPN91: Using the residential zones are relevant to this project.

#### Planning Practice Note 90: Planning for Housing

Of most direct relevance to neighbourhood character policy, PPN90 provides information and guidance about how to plan for housing growth and protect neighbourhood character to ensure a balanced approach to managing residential development in planning schemes. PPN90 encourages councils to adopt an integrated policy framework for housing, including neighbourhood character policy. Significantly, it seeks councils to develop a housing framework that integrates neighbourhood character policies with broader housing policies. Bayside City Council has done this through the Bayside Housing Strategy, 2018 which identified areas where growth is more suitable and areas which are less suitable for residential growth.

PPN90 specifically states:

*Housing change is an inevitable and ongoing process. Tensions can arise between housing and neighbourhood character objectives. If these tensions are not adequately managed this creates uncertainty about future development outcomes.*

PPN90 explains that planning for housing usually occurs through a housing strategy which may also be accompanied by a neighbourhood character strategy along with other relevant strategic work such as heritage, landscape, environmental or land capability studies. While a housing strategy identifies the extent and nature of future housing, a neighbourhood character strategy assists in identifying valued characteristics of areas that need to be considered when identifying the preferred future character for residential areas. Furthermore, a neighbourhood character strategy should feed into a residential development framework that identifies minimal, incremental, and substantial change areas to balance the need to protect valued character with the need to ensure housing growth and diversity. In 2019 Bayside Council adopted the updated Bayside Housing Strategy which provides the development framework described in PPN90.

PPN90 outlines the various elements that should be considered in a Neighbourhood Character Strategy and while this work has not been specifically called a 'Neighbourhood Character Strategy' all the aspects have been considered as part of the Neighbourhood Character Review.

Many of the MACs being examined by this report have structure plans that were prepared in 2006. As this is a long time ago, a review was undertaken for each centre in 2016. In the 10 years between the structure plan and the review new State policies were introduced. State policy changes have had minimal impact on the directions of the Structure Plan. However, the introduction of reformed zones has had tangible impacts on achieving the land uses described in the Structure Plan. On the one hand, the reformed commercial zone makes it harder to achieve the land uses specified for the commercial precincts. On the other hand, the reformed residential zones better facilitate the desired housing development.

The reviews also found that in many of the centres in terms of development, the Design and Development Overlay was found to be effective in moderating building heights, although refinements can be made to improve ease of use and discretionary decision-making guidelines. Policies relating to neighbourhood and village character were found to be less effective in moderating development. To improve this, preferred future character statements for the residential areas of the centre have been drafted which balance the need for growth with maintaining the valued character elements.

The review found that with the exception of a small number of areas, there is a consistent character across all the General Residential Zone areas.

<b>Element</b>	<b>How this is being addressed</b>
Considers both the public and private realms	The visual character inspections have included assessment of both the public realm (street trees, footpaths) and the private realm (architectural style, front setbacks, landscaping, spacing between buildings).
Provides strategic direction for neighbourhood character to guide future development through preferred neighbourhood character statements or neighbourhood character objectives.	Updated preferred character statements have been prepared based on existing strategic frameworks such as structure plans. These will form the basis of the neighbourhood character objectives in each Zone Schedule.
Identifies the comparative significance of each neighbourhood character area. In assessing the significance of areas, comparisons need to be made, not only with other parts of the municipality but also with the wider region	The uniqueness of each areas is a key part of the character assessment process. The objectives will include the elements that are particularly unique in comparison to the wider area, for example the unique character of Beach Road.
Forms the basis for neighbourhood character statements, policies, objectives and local variations to clause 54 and clause 55 being included in residential zone schedules, a Neighbourhood Character Overlay or other overlay.	The assessment of each area will feed into the Bayside planning scheme through a combination of unique schedules to the General Residential Zone and possibly additional Neighbourhood Character Overlays.



## Planning Practice Note 91: Using the Residential Zones

Planning Practice Note 91 and A Practitioner's Guide to Victorian Planning Schemes encourage the use of these, and other tools within a planning scheme to implement the integrated decision-making framework for land use and development. The principles that can be distilled from PPN91 are:

- There is a need to integrate growth and character considerations within land use and development direction in planning schemes.
- Residential zones are the primary tool for guiding the use and development of land. These tools should provide the foundation for guiding development.
- Schedules to the residential zones provide a streamlined opportunity to provide performance-based requirements to implement character and growth policy.
- Overlays can be used to complement the zoning of the land in managing development in special circumstances.
- Where possible, direction for land use and development (including character and growth) should be contained with the zone and overlay controls.
- Policy should not duplicate controls or other parts of the planning scheme.

PPN91 has 5 key principles to guide application of the residential zone. Principle 5 is relevant to neighbourhood character and states:

*The density or number of dwellings on a lot cannot be restricted in the Neighbourhood Residential Zone unless special neighbourhood character, heritage, environmental or landscape attributes, or other constraints and hazards exist.*

There can be a tension between state policy, local policies and community expectations for managing growth particularly in the General Residential areas which are often in and around activity centres designated for more intensive housing growth. By creating a clear list of design guidelines for specific character elements, based on existing strategic policy (such as Overlays, and structure plans) this work will clarify the extent of change envisaged for areas within the General Residential Zone.

### Victoria Planning Provisions

Victoria Planning Provisions (VPP) is the state-wide planning framework that must be considered in the implementation of planning objectives throughout Victoria. The new Planning Policy Framework was introduced into the VPPs in 2020 and these now inform the long-term delivery of housing and ensuring development respects neighbourhood character. These policies are in Bayside Planning Scheme under:

- Clause 11.01-1S – Settlement
- Clause 11.02-2S – Structure Planning
- Clause 15.01-5S – Neighbourhood Character
- Clause 16.01-1S – Housing Supply
- Clause 16.01-2S – Housing Affordability

At a high level the Planning Policy Framework encourages urban consolidation by increasing the proportion of new housing in existing urban areas that are well located in relation to jobs, services and public transport. Clause 11.01-1S also specifies that settlement plans must be informed by Plan Melbourne and must demonstrate that population growth can be accommodated over a 15-year period.

## **Ministerial Direction – the Form and Content of Planning Schemes**

Of note, the Ministerial Direction on the Form and Content of Planning Schemes limits the character objectives able to be specified in both the GRZ schedule and DDO schedule to a maximum of 5 objectives. As a result, the draft character objectives have been edited and consolidated into 5 draft statements.

### **Local Policy Context**

Local policy content in the Bayside Planning Scheme is provided with the overarching Municipal Planning Strategy (MPS), which identifies a need to retain and enhance neighbourhood character throughout Bayside's residential areas. This is reflected in the Residential strategic framework plan (figure 1), which identifies how and where residential growth will be directed throughout the municipality. Under this framework the majority of residential growth will be directed to Key Focus Growth Areas and Moderate Residential Growth Areas with Minimal Growth Areas located throughout the remainder of the municipality.

### **Local Planning Provisions**

Local Planning Provisions (LPP) is the municipality-wide planning framework that must be considered in the implementation of planning objectives throughout Bayside. This is like the Victorian Planning Provisions (VPP) discussed above, however only applicable to Bayside. Each municipality in Victoria has their own specific LPP.

The new Planning Policy Framework was introduced into Bayside's LPPs in 2021 and these now inform the long-term delivery of housing and ensuring development respects neighbourhood character.

### **Local Planning Provisions - Clause 15.01-5L: Bayside Preferred Neighbourhood Character**

The LPP that informs preferred neighbourhood character is under Clause 15.01-5L. The Clause includes general and precinct-specific preferred character strategies and policy guidelines. This supports the strategic direction of the MPS.

The general objectives, strategies and policy guidelines that apply to all precincts across Bayside are stated below:

#### **General Objectives**

- To retain and enhance the identified elements that contribute to the character of the area
- To ensure that development is responsive both to the site and the preferred future character of the area
- To encourage development that accommodates the need for change around activity centres while respecting the desired future character of the area
- To encourage the retention of dwellings that contribute to the valued character of the Precinct
- To maintain and enhance the garden settings of the dwellings
- To maintain and enhance the bayside vegetation character of the area
- To provide space for front gardens
- To maintain the rhythm of spacing between buildings
- To minimise loss of front garden space and the dominance of car parking facilities, driveways and crossovers

- To respect the dominant building forms and scale of buildings in a precinct
- To ensure that development does not visually dominate the streetscape or adjacent identified heritage buildings
- To ensure that new buildings provide an articulated and interesting façade to the street.
- To respect the identified heritage qualities of adjoining buildings
- To use building materials and finishes that complement the dominant pattern within the streetscape or reflect the building materials in locations where there is particular consistency
- To use a variety of building materials and finishes that provide visual interest in the streetscape
- To use building materials and finishes that complement the natural setting in coastal locations
- To maintain and improve the openness of streetscapes and the visual connection between buildings and the street
- To encourage views of front gardens

#### General Strategies

- Encourage development to provide innovative architectural responses in responding to the preferred character of a precinct
- Where adjoining an identified heritage building, design development to respect the height, building form, siting, materials and massing of the heritage buildings
- Avoid imitating or reproducing historic building styles and detailing
- Design and site car parking facilities so that they do not dominate the façade or view of the dwelling
- Articulate the form of buildings and elevations, particularly where viewed from the public realm
- Discourage the planting of environmental weeds

#### General Policy Guidelines

Consider as relevant:

- Whether the characteristics in the immediate vicinity of the site exemplify a preferred future character that is different from the Precinct in which the site is located.
- Whether the site is located within a Key or Moderate Residential Growth Area as shown on the Residential strategic framework plan at Clause 02.04 and the extent to which this may alter the relevance of the design responses to consideration of the proposal.

Clause 15.01-5L has been informed by neighbourhood character reviews undertaken in 2004, 2006, 2008, 2011 and most recently 2021. This policy applies to all land subject to the Neighbourhood Residential Zone (NRZ), General Residential Zone (GRZ) and Mixed Use Zone (MUZ) and is currently considered in decision making for planning permit applications in these areas.

With changes to the suite of residential zones, the necessity to update and modernise the schedules for specific residential areas is now required. The most recent neighbourhood character review will now inform updated and more appropriate General Residential Zone schedules.

**Figure 1 – Bayside Residential Strategic Framework Plan**





## Overview of the General Residential Zones

### Bay Street Activity Centre, Brighton

Bay Street, Brighton is one of Bayside's four Major Activity Centres and is located approximately 12 kilometres from the Melbourne CBD. The activity centre provides a range of functions to the local and wider community. It has a range of public spaces, a wider range of shops, restaurants and cafes and good public transport links from North Brighton Railway Station.

Figure 2 - Map of Bay Street Activity Centre



### Existing Character

The residential precinct of the activity centre is zoned General Residential Zone, Schedule 2 and Schedule 4 and interfaces with the Commercial Zone in some areas and with the Neighbourhood Residential Zone in other areas.

This residential area is diverse in architectural styles, with a concentration of Edwardian, Federation, California Bungalow Interwar, Post War era dwellings that are detached and single and double storey with detailed and articulated facades and rooflines. There are a number of heritage buildings and precincts, which reflect the role of one of Brighton's oldest residential area.

The variety of architectural styles is reflected in the setbacks and fences style. Materials reflect eras of development and consist of a mix of brick, render and timber. Gardens are established with native and exotic species. Street planting is a mixture of existing and native species. Dwelling are generally setback between 1m and 3m from side boundaries, however, garages extend to the boundary in some instances. Moderately wide street frontages of approximately 15m to 20m and front setbacks of 5m to 9m allow for medium sized gardens which contribute to the garden, suburban feel of the area.

Front fences are generally low to medium and have a mix of solid and open style, other than some exceptions where fences are high and solid such as in Enfield Road. Building material is predominantly brick with new development using render finishes. Roofs forms are generally pitched.

**Figure 3 – Review Area: Precinct B1, General Residential Zone (Schedule 2) - Bay Street Activity Centre**



**Figure 4 – Review Area: Precinct B2, General Residential Zone (Schedule 2) - Bay Street Activity Centre**

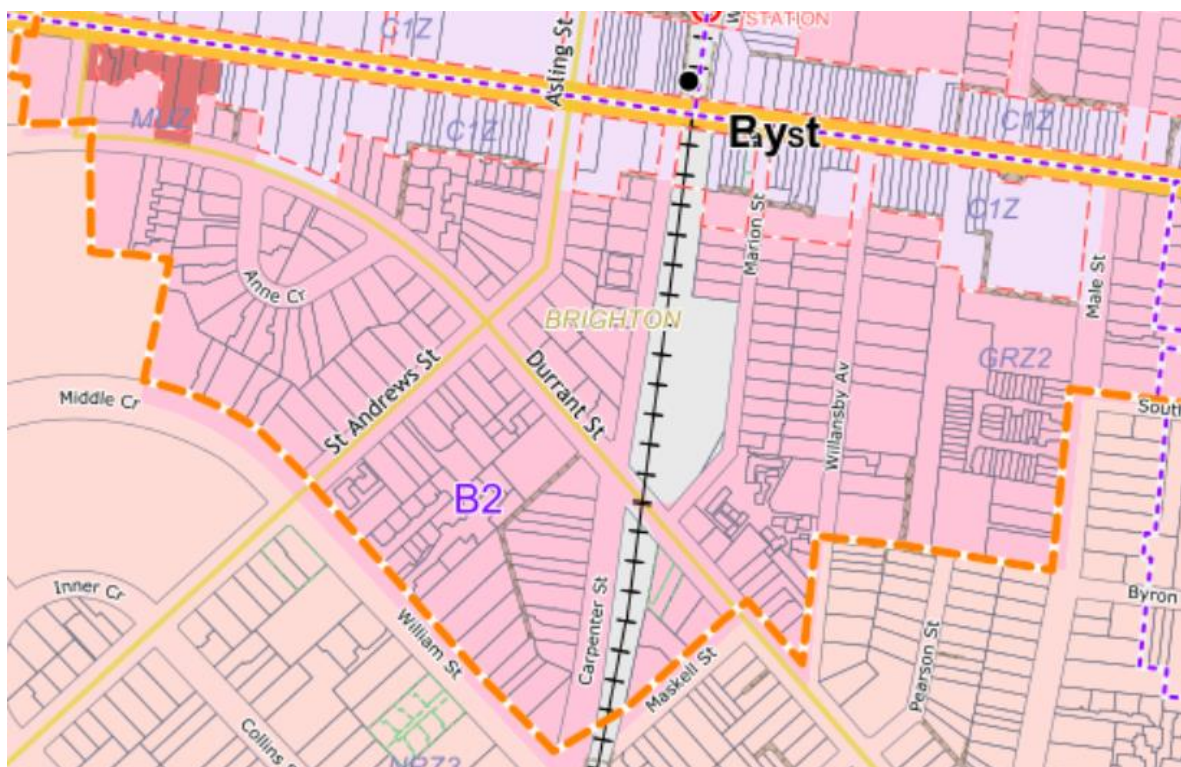


Figure 5 – Review Area: Precinct B5, General Residential Zone (Schedule 2) Bay Street Activity Centre

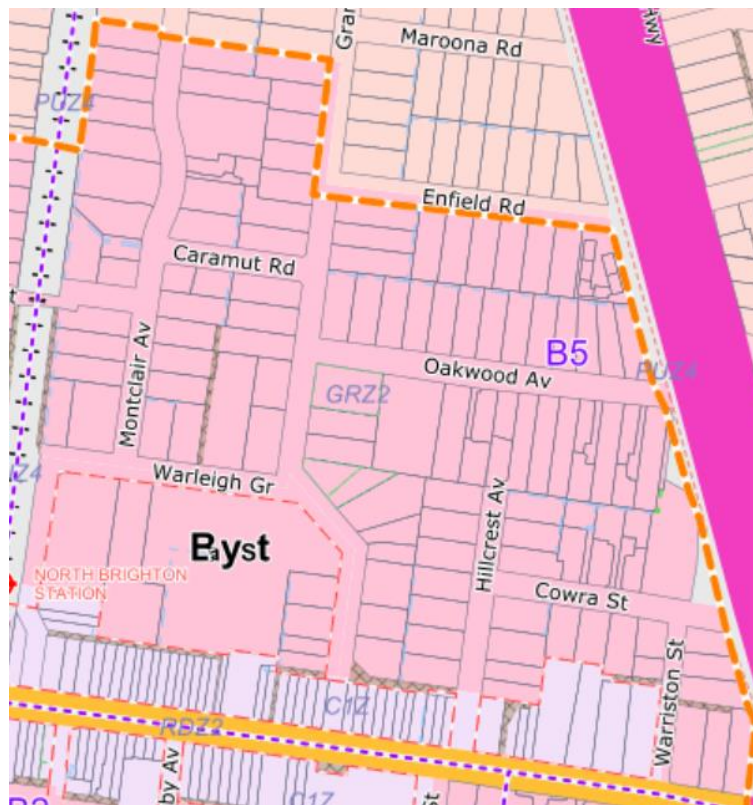
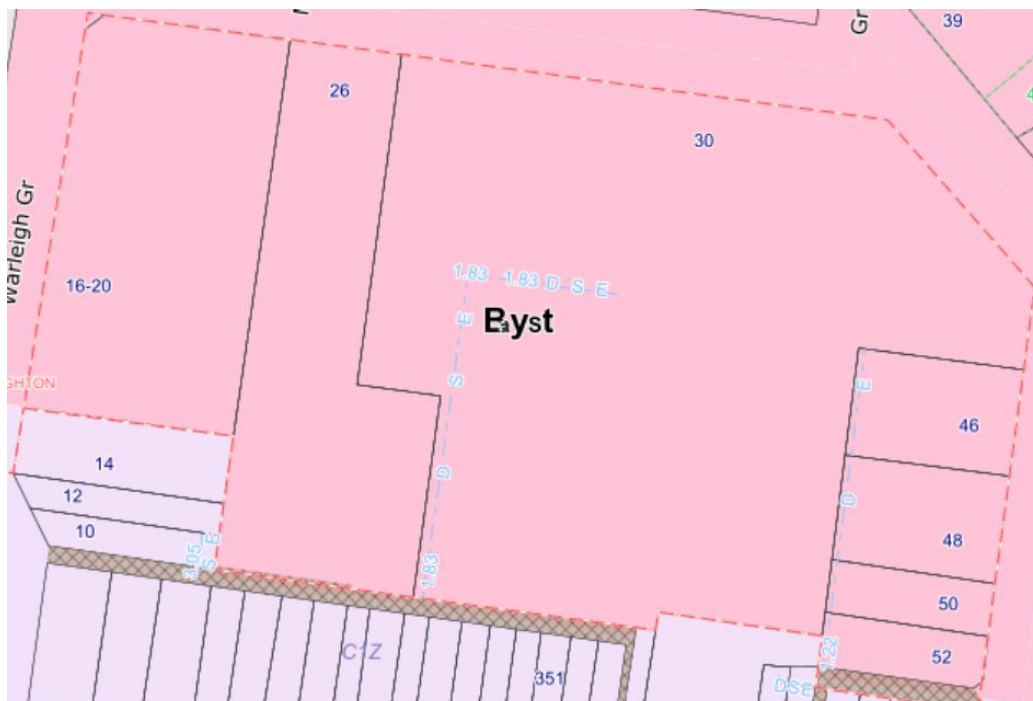


Figure 6 – Review Area: Precinct B5, General Residential Zone (Schedule 4) - Bay Street Activity Centre





## Preferred Future Character

The following provisions and policies currently guide built form in the Bay Street activity centre:

- The Bay Street Centre Structure Plan, 2006
- General Residential Zone, Schedule 2
- General Residential Zone, Schedule 4
- Design and Development Overlay, Schedule 10
- Bayside Neighbourhood Character Precinct B1, B2 and B5

Policy	Provisions that relate to neighbourhood character	Is this able to be translated into the new GRZ Schedule
The Bay Street Centre Structure Plan, 2006	Primarily focusses the built form objectives and strategies on the commercial area of the activity centre. The objectives that relate to the residential areas of the centre are as follows: <ul style="list-style-type: none"> <li>• Provide adequate off-street parking for all new dwellings.</li> </ul>	Not necessary, this is already addressed by Clause 52.06
	<ul style="list-style-type: none"> <li>• Maintain the spacious and low scale character of residential areas.</li> </ul>	<p>Yes, this can be covered by an objective for front and side setbacks.</p> <p>The height is already addressed by the GRZ parent provision (max 3 storeys).</p>
	<ul style="list-style-type: none"> <li>• Increase the number of dwellings and the variety of dwelling types in this area.</li> </ul>	Not necessary, this is not a neighbourhood character matter.
	<ul style="list-style-type: none"> <li>• Encourage redevelopment of larger sites for higher density residential dwelling types.</li> </ul>	Yes, to a certain extent
	<ul style="list-style-type: none"> <li>• Encourage additional housing in established residential neighbourhoods that is in keeping with the preferred future character of the area as outlined in the Bayside Neighbourhood Character Policy (Bayside Planning Scheme, Clause 22.07).</li> </ul>	
General Residential Zone, Schedule 2	Contains no neighbourhood character objectives	N/A



General Residential Zone, Schedule 4	Contains no neighbourhood character objectives	N/A
Design and Development Overlay, Schedule 10	To ensure that the height of new development is compatible with the preferred future role and character of the Bay Street Major Activity Centre.	Not necessary, the height is set by the parent provision of the GRZ.
	To develop the centre in a way that conserves and enhances its valued urban character and heritage places.	Yes, the purpose of the clear neighbourhood character objectives in the updated schedules is to achieve this.
	To ensure that new development contributes to safe and active streets.	Yes
	To maintain a strong landscape character with residential buildings set within vegetated front gardens and streetscapes in the residential precincts.	Yes
Bayside Neighbourhood Character Precinct B1	Encouraging the retention of pre-WWII era dwellings.	This cannot be required without a Heritage Overlay.
	Ensuring the retention of large trees and encouraging the planting of complementary trees and vegetation.	Not necessarily, it can be encouraged but not mandated
	Reflecting the rhythm of existing dwelling spacing and providing space to accommodate front gardens.	Yes
	Ensuring car parking facilities do not dominate the dwelling or the streetscape.	Yes
	Ensuring that new dwellings are well articulated.	Yes
	Ensuring that new buildings and extensions do not dominate the streetscape	Not necessary, height is covered by the GRZ parent provision and space around buildings is

		mandated by the front and side setbacks.
	Encouraging open style front fencing.	Yes
Bayside Neighbourhood Character Precinct B2	Encouraging the retention of pre-WWII era dwellings.	This can be encouraged but not mandated without a Heritage Overlay.
	Ensuring the retention of large trees and encouraging the planting of complementary trees and vegetation.	Not necessarily, it can be encouraged but not mandated.
	Ensuring the siting of carparking structures to minimise loss of garden space and dominance in the streetscape	Yes
	Ensuring that new development respects the dominant building scale and forms, through use of innovative architectural techniques.	Yes
	Encouraging the use of a variety of materials within front facades.	Not necessary, this is already covered by scale and forms.
	Encouraging open style front fencing.	Yes
Bayside Neighbourhood Character Precinct B5	Encouraging the retention of pre-WWII era dwellings, and 1950's dwellings in Meyer Court	This can be encouraged but not mandated without a Heritage Overlay.
	Encouraging the retention and planting of complementary trees and vegetation.	This can be encouraged, but retention can't be mandated
	Ensuring buildings are set back from front and side boundaries to provide space for planting.	Yes
	Ensuring new development respect the predominate building scale and forms of the streetscape	Yes
	Ensuring that new dwellings are	Yes

	articulated and extensions are setback from the front façade of the dwelling	
	Ensuring that new car parking structures do not dominate the streetscape.	Yes
	Ensuring from fences are open in style and appropriate to the building era, other than Meyer Court where no or low brick front fences are provided.	This can be encouraged

### Summary (translation into a GRZ Schedule)

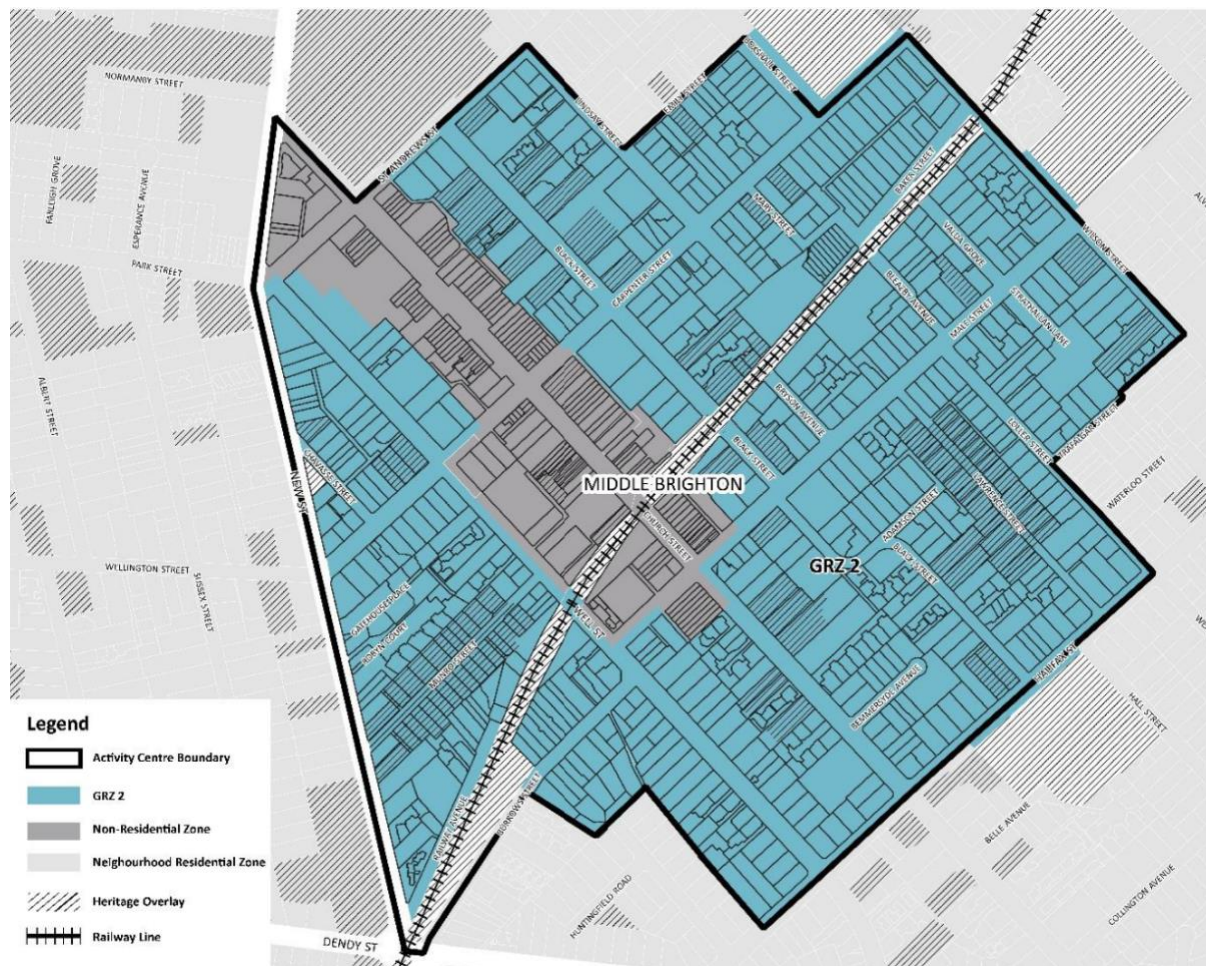
By combining the objectives that relate to specifically to neighbourhood character policy, the following key objectives for this area can be summarised as follows. New development in the residential areas of the Bay Street Activity Centre should:

1. To enhance the landscape character of streetscapes by providing sufficient space for vegetation.
2. To ensure new buildings does not visually overwhelm the neighbouring properties.
3. To ensure new buildings or extensions do not dominate or disrupt the existing streetscape rhythm.
4. To ensure building materials, finishes and articulations integrate with the streetscape character.
5. To maintain and enhance interaction between building and the public realm with low and transparent front fences.

## Church Street Activity Centre, Brighton

Church Street is one of Bayside's four Major Activity Centres and is located approximately 13 kilometres from the CBD. Church Street has a range of high-quality retail and dining outlets, with a vibrant street life and community feel and is well serviced by Middle Brighton railway station.

Figure 7 -Map of Church Street Activity Centre



### Existing Character

The majority of lots in the north of the precinct and some along Church Street and Well Street contain medium to larger lots with lot frontages between 15-25m with some exceptions like properties along Baker Street. This creates a more medium-grain streetscape rhythm in the precinct.

The remaining lots in the precinct present a finer grain with majority of the lot frontages being between 10-20m. The precinct is generally comprised of 1-2 storey mixed style architecture with some recent development scattered throughout the precinct. Some streets such as Carpenter Street and parts of Church Street, Black Street and Lawrence Street have predominantly 2 storey dwellings.

There is a mix of multi-unit development and detached dwellings within the precinct. There are several apartments recently developed along Well Street, near the commercial core. The multi-unit development extends for the length of the block, yet present as single dwelling to the street.

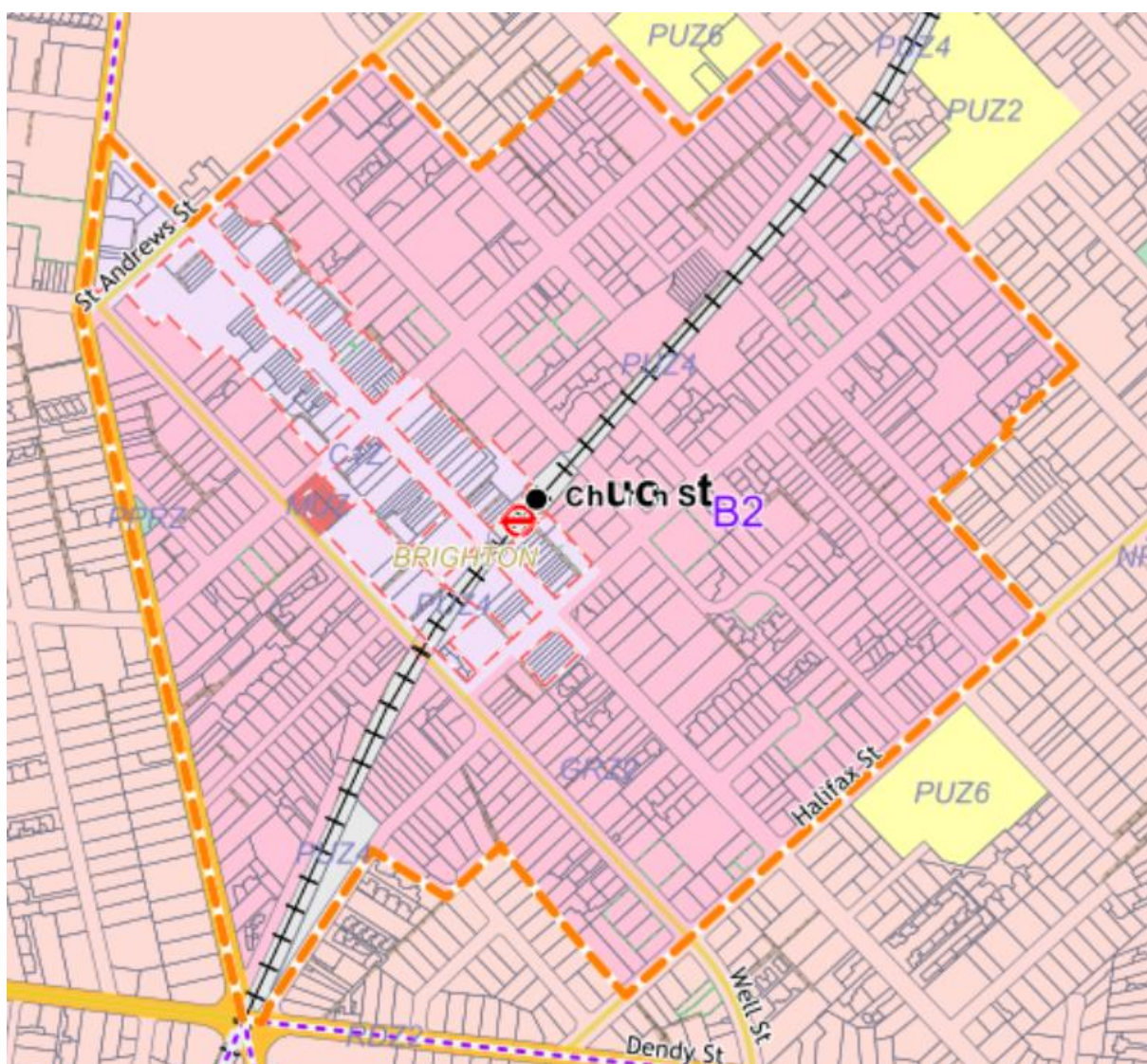
Front setbacks are generally between 5-9m, and in some instances greater which provides for medium to larger front gardens. However, parts of Munro Street and Emily Street present setbacks



smaller than 5m. The front gardens are generally established with small to medium sized trees. This vegetation along with large native street trees, especially along Well Street, Lindsay Street, Well Street and Burrows Street make a valuable contribution to the bayside setting.

Most dwellings are often sited close to each other, occasionally with one wall close to the side boundary. Due to this limitation, there is not enough room for landscaping on the side boundaries. Front setbacks are generally between 6-9m except along New Street where there are narrower setbacks. These front setbacks accommodate medium to larger front gardens and have some established trees. This vegetation along with large native trees makes a valuable contribution to the bayside setting. Front fences are generally low to medium and have a mix of solid and open style. Building material is predominantly brick with new development using render finishes. Roofs are generally pitched.

**Figure 8 – Review Area: Precinct B2, General Residential Zone (Schedule 2) - Church Street Activity Centre**



## Preferred Future Character

The following provisions and policies currently guide built form in the Church Street activity centre:

- The Church Street Centre Structure Plan, 2006
- Design and Development Overlay, Schedule 11
- General Residential Zone, Schedule 2
- Bayside Neighbourhood Character Precinct B2

The table summarises the guidance or provisions from each of the above policy documents and identifies whether these elements can be addressed in an updated preferred future character policy or whether they are implemented through a different tool.

Policy	Provisions that relate to neighbourhood character	Is this able to be translated into the new GRZ Schedule
The Church Street Centre Structure Plan, 2006	Encourage residential development close to shop and services to provide a transition from business areas to low scale residential areas.	Not, necessary, this is achieved using Residential Zones and Commercial Zones
	Encourage redevelopment of larger sites and grade level car parks for residential with basement car parking.	Yes, this can be specified in the new GRZ Schedule.
	Encourage additional housing in established residential neighbourhoods that is in keeping with the preferred future character of the areas as outlined in the Bayside Neighbourhood Character Policy (Bayside Planning Scheme Clause 15.01-5S)	Not necessary, this is sufficiently addressed by the Local policy (now located at clause 15.01-5S)
	Provide adequate off-street parking for all new dwellings.	Not necessarily, this is already addressed by Clause 52.06
Design and Development Overlay, Schedule 11 – Built form standards for Church Street, Major Activity Centre	On land within a Residential Zone, design responses including recessed upper most levels and attic style development will be encouraged.	
	To ensure that the height of new development is compatible with the preferred future role and character of the Church Street Major Activity Centre.	Not necessary, the height is set by the parent provision of the GRZ.

	To develop the centre in a way that conserves and enhances its valued urban character and heritage places.	Yes, if the 'valued' character is clearly identified and articulated.
	To ensure that new development contributes to safe and active streets.	Yes
	To maintain a strong landscape character with residential buildings set within vegetated front gardens and streetscapes in the residential precincts.	Yes, vegetation and landscaping can be included
General Residential Zone, Schedule 2 (Moderate Residential Growth Areas: Bay Street, Church Street, Hampton Street and Sandringham Major Activity Centres)	Contains no neighbourhood character objectives	N/A
Bayside Neighbourhood Character Precinct B2	Encouraging the retention of pre-WWII era dwellings.	This can be encouraged but not mandated without a Heritage Overlay.
	Encouraging the retention and planting of trees and landscaped gardens	Yes, this will be included
	Ensuring the siting of car parking structures to minimise loss of garden space and dominance in the streetscape.	Yes
	Ensuring that new development respects the dominant building scale and forms, though the use of innovative architectural techniques	Yes
	Encouraging the use of a variety of materials within front facades.	Yes
	Ensuring the use of simple building details and articulated front facades	Yes
	Encouraging open style front fencing.	Yes

### Summary (translation into a GRZ Schedule)

By combining the objectives that relate to specifically to neighbourhood character policy, the following key objectives for this area can be summarised as follows. To facilitate development that provides a balance between accommodating growth and respects the valued streetscape character. New development is envisaged to provide a transition to the sensitive residential precincts. This can will be achieved by:

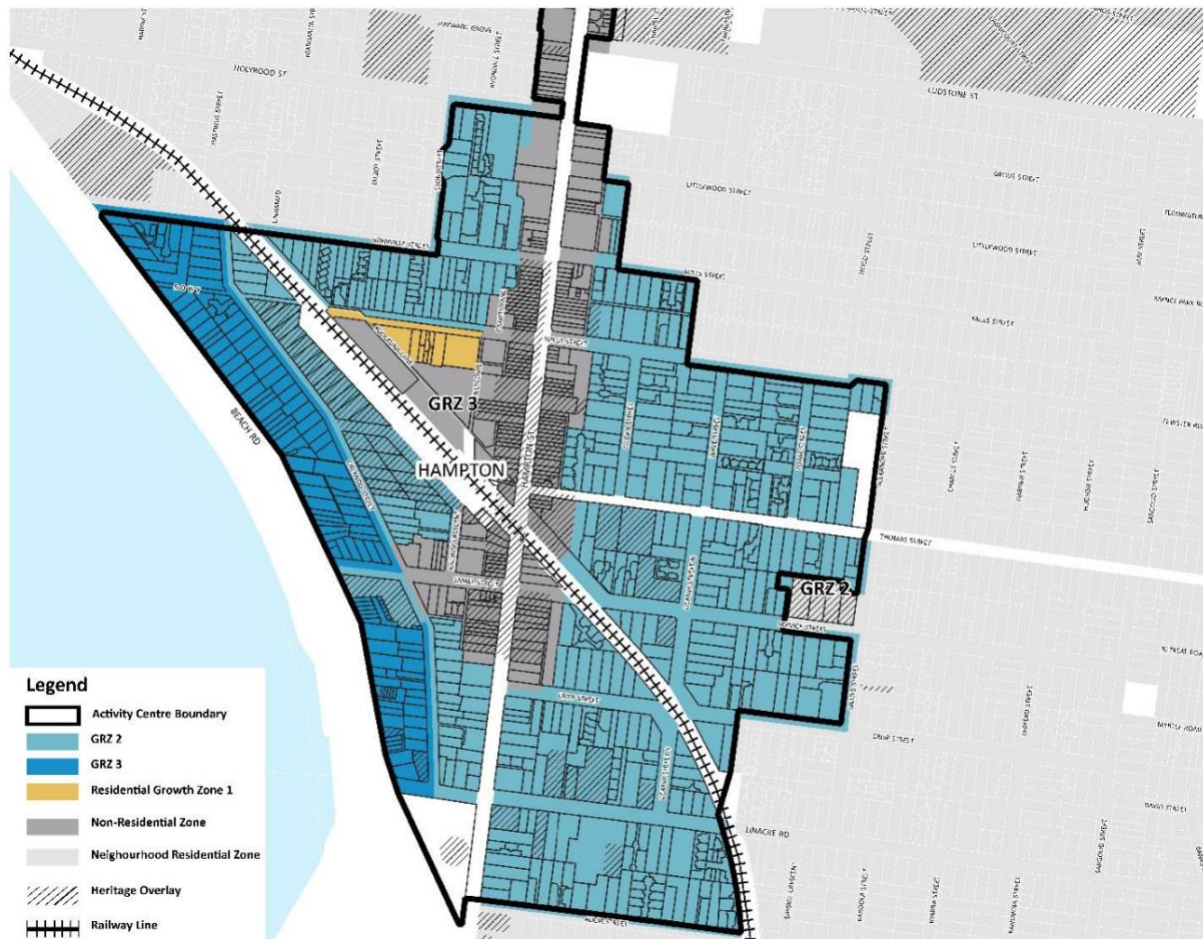
1. To ensure the third floor is recessed enough so it is distinct from the lower part of the building
2. To maximise building articulation that integrates with the streetscape character and reduces visual bulk
3. To encouraging the retention and planting of medium to large sized trees and landscaped front gardens while minimising hard surfaces.
4. To strengthen the bayside vegetation character of the area by ensuring sufficient space is provided around buildings to accommodate landscaping
5. To ensure new development provides sufficient setbacks from the rear boundary to not overwhelm the backyard character and provides a transition to sensitive residential areas



## Hampton Street Activity Centre, Hampton

Hampton Street, Hampton is one of Bayside's four Major Activity Centres located approximately 16 kilometres from the CBD. It is one of the largest residential shopping strips in southern metropolitan Melbourne and offers a range of small and chain retail, restaurants, and professional services.

**Figure 4 – Map of Hampton Street Activity Centre**



### Existing Character

The character of the residential streets that are part of the Hampton Activity Centre are relatively cohesive and can be summarised as follows.

#### Linacre Road

The western part of Linacre Road has very large setbacks, high fences, and more dramatic character with large 'homesteads' and a mix of new development and heritage properties.

#### Deakin Street

The southern portion of Deakin Street has a number of weatherboard houses and lots of similar size.

#### Service Street

The character of service street is mostly two storeys (more so than other streets), with extensions recessed to the back of the property, a wide tree-lined street and a high concentration of pitched

roofs. There is no noticeable difference between H1 and H2 (current Neighbourhood Character Precincts).

#### Gillis Street

Gillies street has smaller front setbacks and several sheer two storey houses (rather than recessed).

#### Crisp Street

On the corner of Crisp Street and Gillies Street there are several new apartments, opposite side of the street is the usual character of NRZ, but the north side was noticeably different character (lots of apartments).

#### Alicia Street

There are several two-storey bricks, 1960s apartments, some weatherboard, some new looking 2 storey houses. All have large setbacks. A mix of 1960s, weatherboard, modern rendered, gently pitched. Medium grained, large front setbacks.

#### Grenville Street

There is a mix of building materials (brick, rendering and weatherboard) and predominance of pitched roofs. The street is wide. There is a concentration of weatherboard houses at the western end of Grenville Street.

#### Willis Street

There is evidence of a lot of new development, the street is wide and moderately vegetated.

#### Beach Road and Orlando Street

This area has a slightly different character as it addresses Beach Road and the foreshore. It includes the properties along Beach Road and Orlando Street except 56 Beach Road.

The majority of the properties along Beach Road consist of predominantly 2 storey detached dwellings with some 3- storey development with recessed upper levels. These properties are generally comprised of contemporary style architecture with balconies overlooking the bay. The building material used is predominantly concrete with plaster walls containing minimal cornices, however, the older developments are often constructed of brick or timber with pitched roofs.

The majority of the lot frontages are between 15-20m with remaining mostly under 9m. Front setbacks are generally between 4-7m, and in some instances larger which provides for larger front gardens. The front gardens within this precinct are mainly established with soft landscaping and some small to medium sized trees. Most of the front fences are between 1.5m - 2m with a mix of solid and transparent fences.

Properties along Orlando Street consist of predominantly 1-2 storey detached dwellings. These properties are generally comprised of Edwardian style architecture with timber walls, and in some instances red brick walls. Most roofs are pitched. The majority of the lot frontages are between 12-17m with remaining predominantly under 12m. Front setbacks are mixed and are established with some medium to large sized trees. The northern section of Orlando Street, above Small Street, on the eastern side of the street the majority of dwellings sit within the Orlando Street Heritage Precinct.

Figure 9 – Review Area: Precinct F2, General Residential Zone (Schedule 2) – Hampton Street Activity Centre

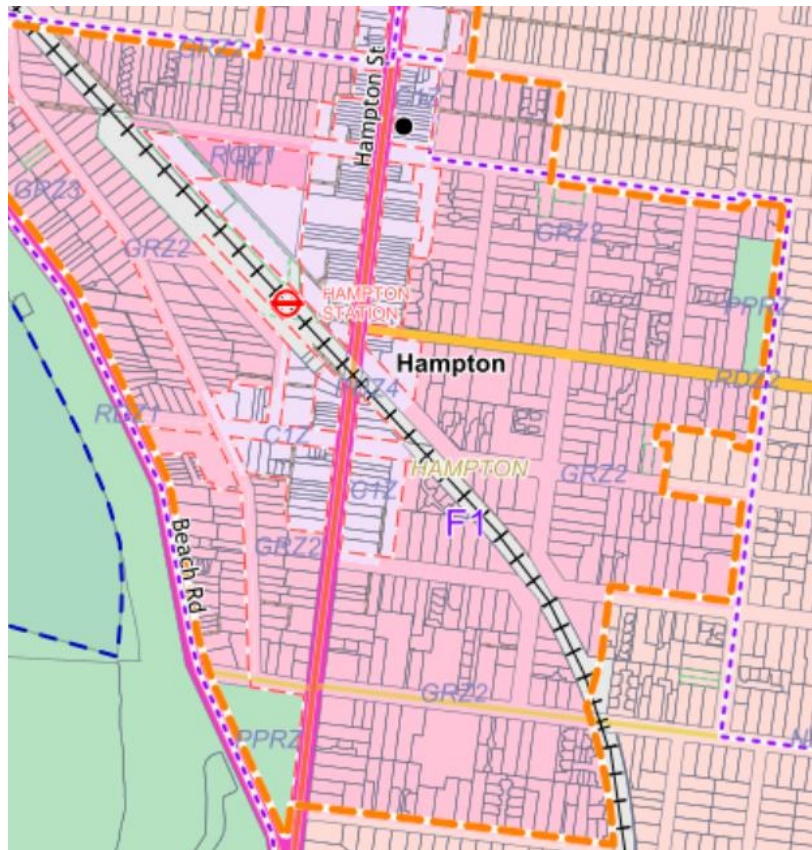


Figure 10 – Review Area: Precinct E2, General Residential Zone (Schedule 2) – Hampton Street Activity Centre

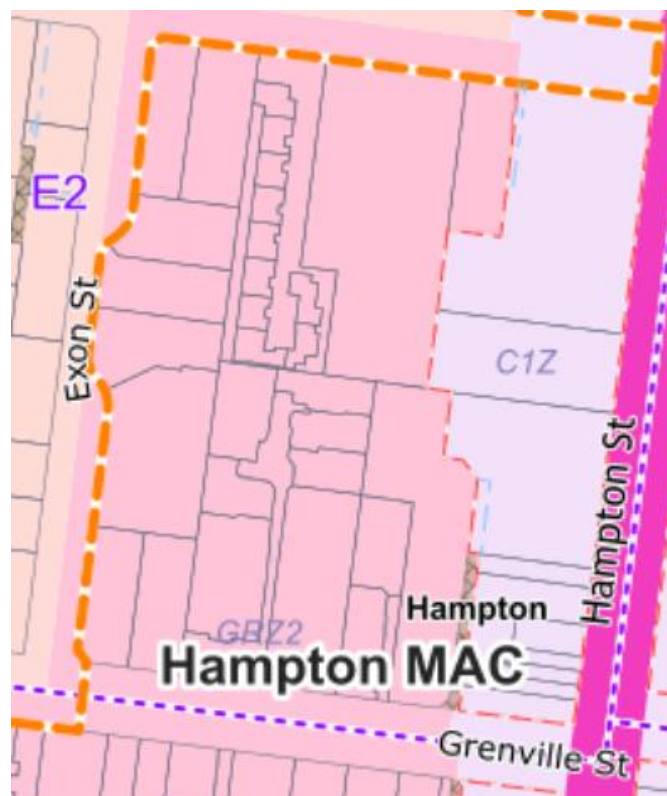




Figure 11 – Review Area: Precinct E3, General Residential Zone (Schedule 2) – Hampton Street Activity Centre

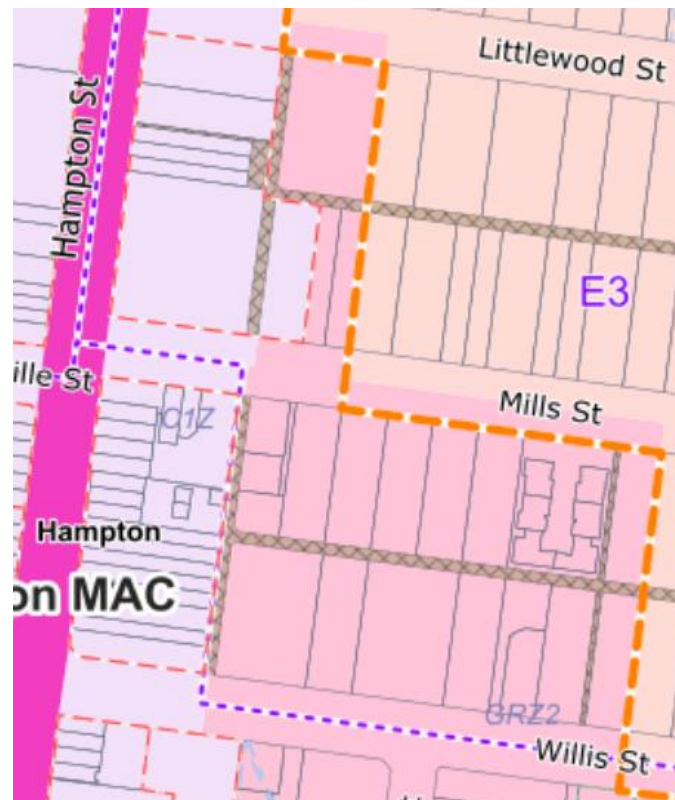


Figure 12 – Review Area: Precinct F1, General Residential Zone (Schedule 3) – Hampton Street Activity Centre



## Preferred Future Character

The following provisions and policies currently guide built form in the Church Street activity centre:

- The Hampton Street Centre Structure Plan, 2006
- Design and Development Overlay, Schedule 12
- General Residential Zone, Schedule 2 and Schedule 3
- Bayside Neighbourhood Character Precinct F1, E2 and E3

The table summarises the guidance or provisions from each of the above policy documents and identifies whether these elements can be addressed in an updated preferred future character policy or whether they are implemented through a different tool.

Policy	Provisions that relate to neighbourhood character	Is this able to be translated into the new GRZ Schedule
The Hampton Street Centre Structure Plan, 2006	Provide for increased housing densities and diversity of housing types within the Centre and direct larger developments to larger sites within or immediately adjoining the retail area.	Not, necessary, this is guided by the zone.
	Provide adequate off-street parking for all new dwellings.	Not necessary, this is sufficiently addressed by Clause 52.06
	Encourage additional housing in established residential neighbourhoods that is in keeping with the desired future character of the areas as outlined in the Bayside Neighbourhood Character Policy (Bayside Planning Scheme Clause 15.01-5S)	Not necessary, this is sufficiently addressed by the Local policy (now located at clause 15.01-5S)
General Residential Zone, Schedule 2 (Moderate Residential Growth Areas: Bay Street, Church Street, Hampton Street and Sandringham Major Activity Centres)	Contains no neighbourhood character objectives	N/A
General Residential Zone, Schedule 3 (Moderate Residential Growth Areas: Hampton Street and Sandringham Major Activity Centres, coastal location )	Contains no neighbourhood character objectives	N/A
Design and Development Overlay, Schedule 12 (Built form standards for Hampton Street Major Activity Centre)	To ensure that the height of new development is compatible with the preferred future role and character of the Hampton Street Major Activity Centre.	Not necessary, the height is set by the parent provision of the GRZ.



	To develop the centre in a way that conserves and enhances its valued urban character and heritage places.	Not necessary, this is an overall goal that the updated schedules will achieve but can't be explicitly included.
	To ensure that new development contributes to safe and active streets.	Yes
	To maintain a strong landscape character with residential buildings set within vegetated front gardens and streetscapes in the residential precincts.	Yes.
	To recognise the redevelopment potential of the Willis Street Precinct.	Not necessary, this is sufficiently addressed by the Structure Plan and the zoning,
Bayside Neighbourhood Character Precinct F1	Encouraging the retention of pre-WWII era dwellings.	This can be encouraged but not mandated without a Heritage Overlay.
	Reflecting the lightness of the streetscape using appropriate building materials and finishes and variety in the texture of buildings	Yes
	Encouraging the retention and planting of trees and landscaped gardens	Yes
	Strengthening the bayside vegetation character of the area	This is covered by the above point.
	Ensuring the building setbacks reflect the existing spacing and contribute to the informality of the dwelling setting.	Yes
	Ensuring that new development respects the dominant building scale and forms of the streetscape	Yes
	Ensuring development along Beach Road reflects the coastal setting and interface with the foreshore reserve	Yes, for the relevant areas

	Ensuring front fences are open style and appropriate to the building era.	Yes
Bayside Neighbourhood Character Precinct E2	Encouraging the retention Inter-War and earlier dwellings.	This can be encouraged but not mandated without a Heritage Overlay.
	Encouraging the retention of existing trees and the planting of native trees and other vegetation particularly appropriate to the coastal setting;	This can be encouraged but retention can not be mandated
	Ensuring front setbacks are consistent with others in the street and provide space for garden planting.	Yes
	Ensuring that car parking structures do not dominate the streetscape.	Yes
	Encouraging the use of timber or other lightweight material in streetscapes where weatherboard predominates	Yes
	Ensuring new buildings do not dominate or overwhelm the streetscape;	Yes
	Encouraging well-articulated buildings and pitched roof forms	Yes
	Ensuring front fences are low to medium height.	Yes
Bayside Neighbourhood Character Precinct E3	Encouraging the retention of California Bungalow style dwellings	This can be encouraged but not mandated without a Heritage Overlay.
	Encouraging the retention of planting of trees and landscaped gardens	This can be encouraged but retention cannot be mandated
	Ensuring buildings are, or appear to be, set back from both side boundaries	Yes
	Ensuring buildings are set back from the front boundary in accordance with the predominant setback in the street	Yes
	Encouraging the use of timber or other lightweight materials, in	Yes

	streetscapes where timber predominates	
	Ensuring that car parking structures do not dominate the streetscape	Yes
	Ensuring new development reflects the dominant building scale and forms within the streetscape;	Yes
	Ensuring front fences are low or average height and open style and appropriate to the building era	Yes
	Retaining and enhancing the avenue street trees.	This can be encouraged but retention cannot be mandated

### Summary (translation into a GRZ Schedule)

There are two moderate residential growth areas in the Hampton Street Major Activity Centre, the General Residential Zone – Schedule 2 (GRZ2) and the General Residential Zone – Schedule 3 (GRZ3).

The GRZ2 is the typical moderate growth zoning across the major activity centres in Bayside.

GRZ3 is still moderate residential growth but only in the coastal locations of Hampton Street Major Activity Centre and Sandringham Major Activity Centre.

Therefore, to reflect their differences, there are two sets of key objectives for new development within the Hampton Street Major Activity Centre, one for the GRZ2 and one for the GRZ3.

New development in the residential areas of the Hampton Street Major Activity Centre within the General Residential Zone, Schedules 2:

1. To maintain a strong landscape character with residential buildings set within vegetated front gardens
2. To ensure that new development contributes to safe and active streets.
3. Maximising building articulation that integrates with the streetscape character and reduces the visual bulk
4. Maximising building articulation that reduces the visual bulk of the side building facades
5. Ensuring front fences are open style and low-medium scale.

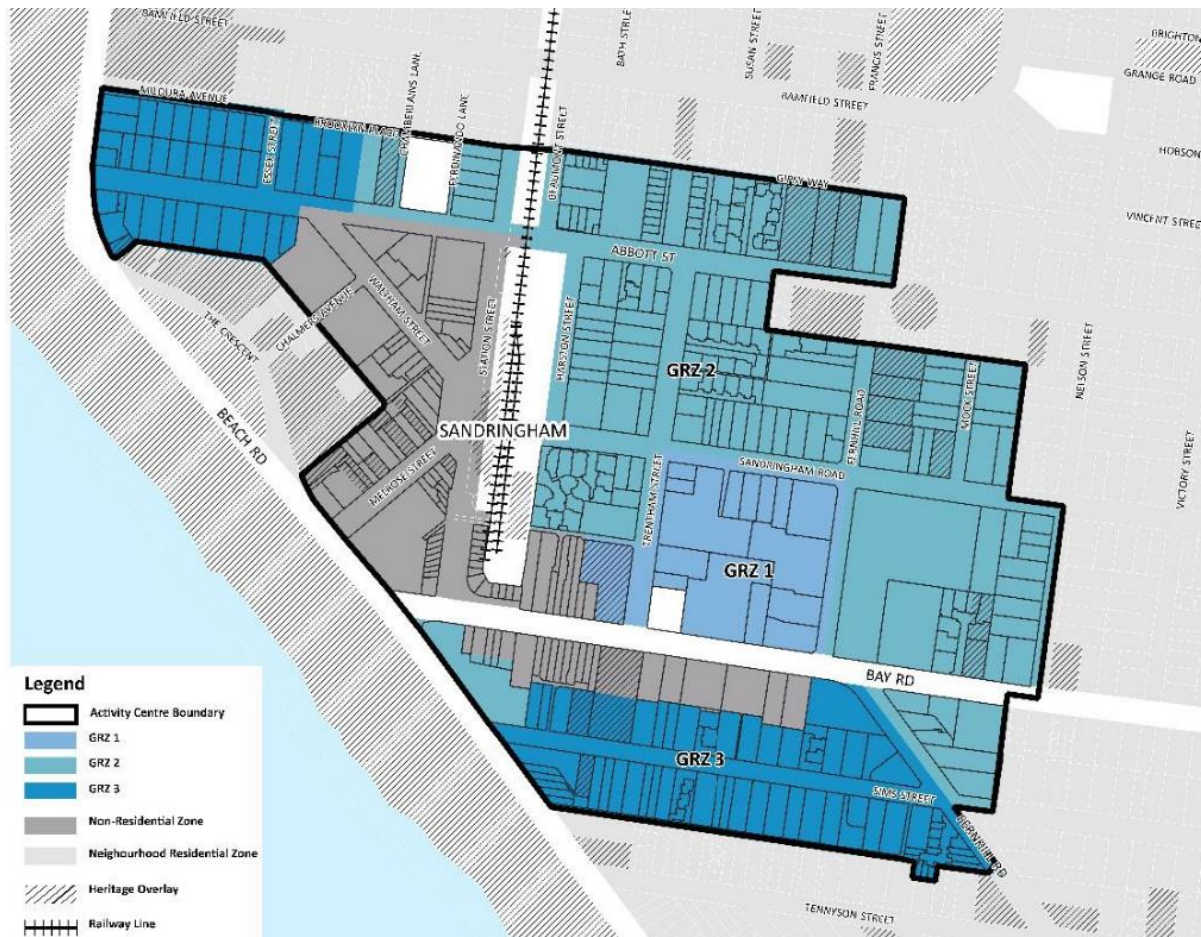
New development in the coastal residential areas of the Hampton Street Major Activity Centre within the General Residential Zone, Schedule 3 should:

1. To be sympathetic to existing character, particularly the coastal setting, heritage places and pre-WWII buildings.
2. To maintain a strong landscape character with residential buildings set within vegetated front gardens.
3. Ensuring front fences are open style and low-medium scale.
4. To create a visually interesting and attractive built form interface with the foreshore reserve.
5. To encourage innovative architecture that reflects the coastal setting.

## Sandringham Village Activity Centre, Hampton

Sandringham Village, which is a Major Activity Centre, is located on Port Phillip Bay approximately 18 kilometres from the CBD. The centre is characterised by its intimate village atmosphere and local community feel with a vibrant mix of shops, restaurants, and cafes. Its heritage buildings have been retained and incorporated into the newer parts of the centre. It is well serviced by public transport with the Sandringham Railway Station conveniently located in the centre.

Figure 13 - Map of Sandringham Village



### Existing character

The western end of Abbot Street bounded by Mildura Street and Beach Road has a noticeably high number of Californian bungalows.

The north of Abbott Street consists of 2 storey bungalows with building material predominately being brick. The properties to the north of Abbot have a consistent character with lot frontages of approximately 15m with an average front setback of 6 metres.

The south of Abbott Street consists of single storey bungalows with building material predominantly being timber. The majority of lot frontages are between 15m-20m with the remaining being under 15m. Front setbacks are generally between 4-6m, and in some instances smaller which provides for smaller front gardens. Most of the front gardens within this area established with some medium to large sized trees. The majority of roofs are pitched.

Some lots along Bay Road, Sandringham Road and Fernhill Road have predominantly medium-larger lots accommodating school and aged care complex creating medium grained subdivision pattern. Many of these lots are being developed as multi-unit developments that extend for the length of the block, yet presenting as single dwellings to the street. This contributes to the valued streetscape rhythm of the precinct.

A small number of dwellings with heritage overlay consist along Sims Street. Front setbacks are generally between 3m-7m, and in some instances greater which provides for medium to larger front gardens. These vegetated front gardens are established with some small to medium sized trees.

The building material varies between brick and timber, however, the newer developments are often constructed of heavier materials such as concrete and brick. Roofs are predominantly pitched, however some of the apartment developments and some of the newer multi-unit development present flat roofs. Front fences are generally medium at 1 to 1.5m with a mix of solid and transparent fences.

**Figure 14 – Review Area: Precinct F1, General Residential Zone (Schedule 2) – Sandringham Activity Centre**

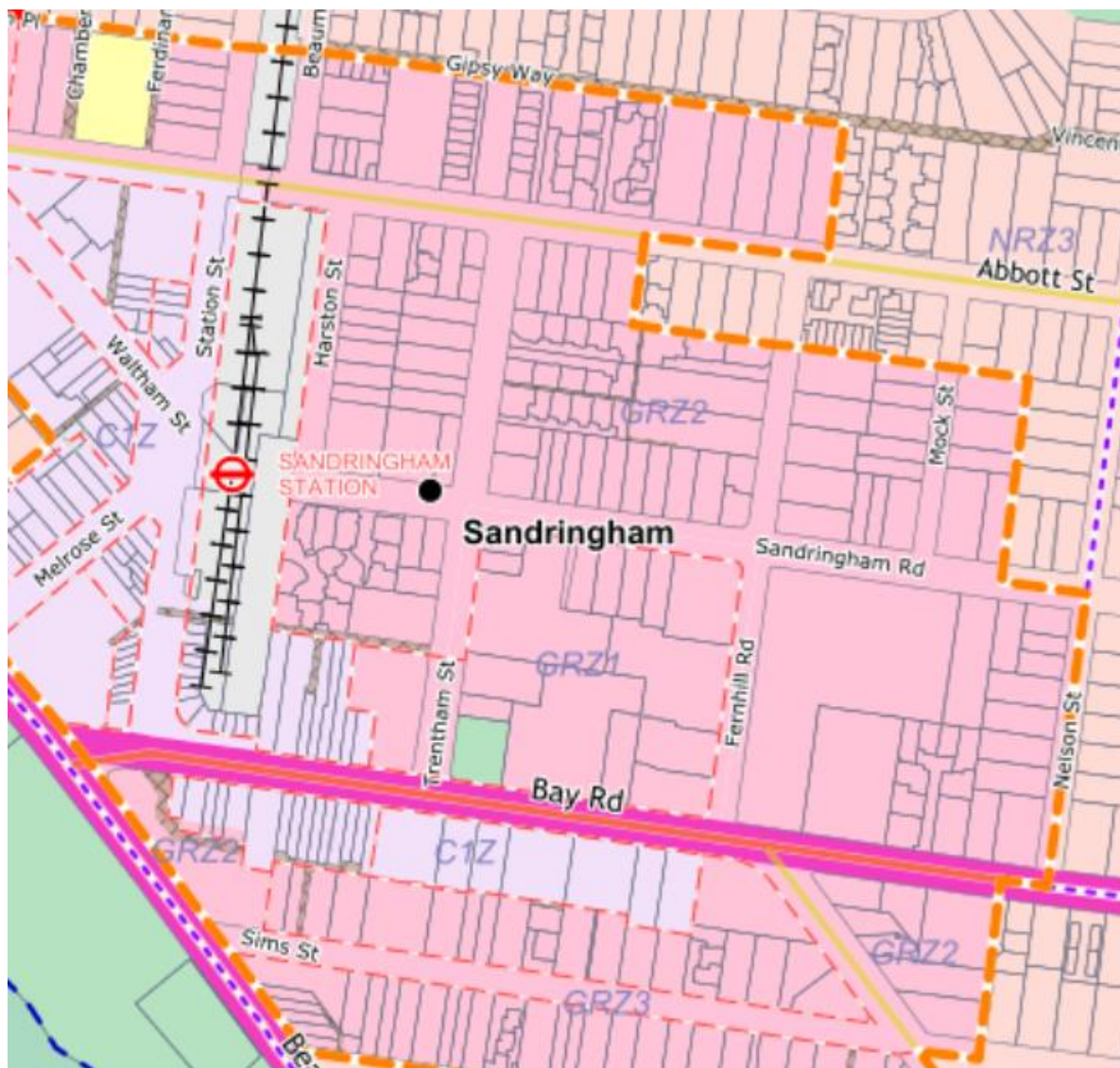




Figure 15 – Review Area: Precinct F1, General Residential Zone (Schedule 2) , – Northern portion of the Sandringham Activity Centre

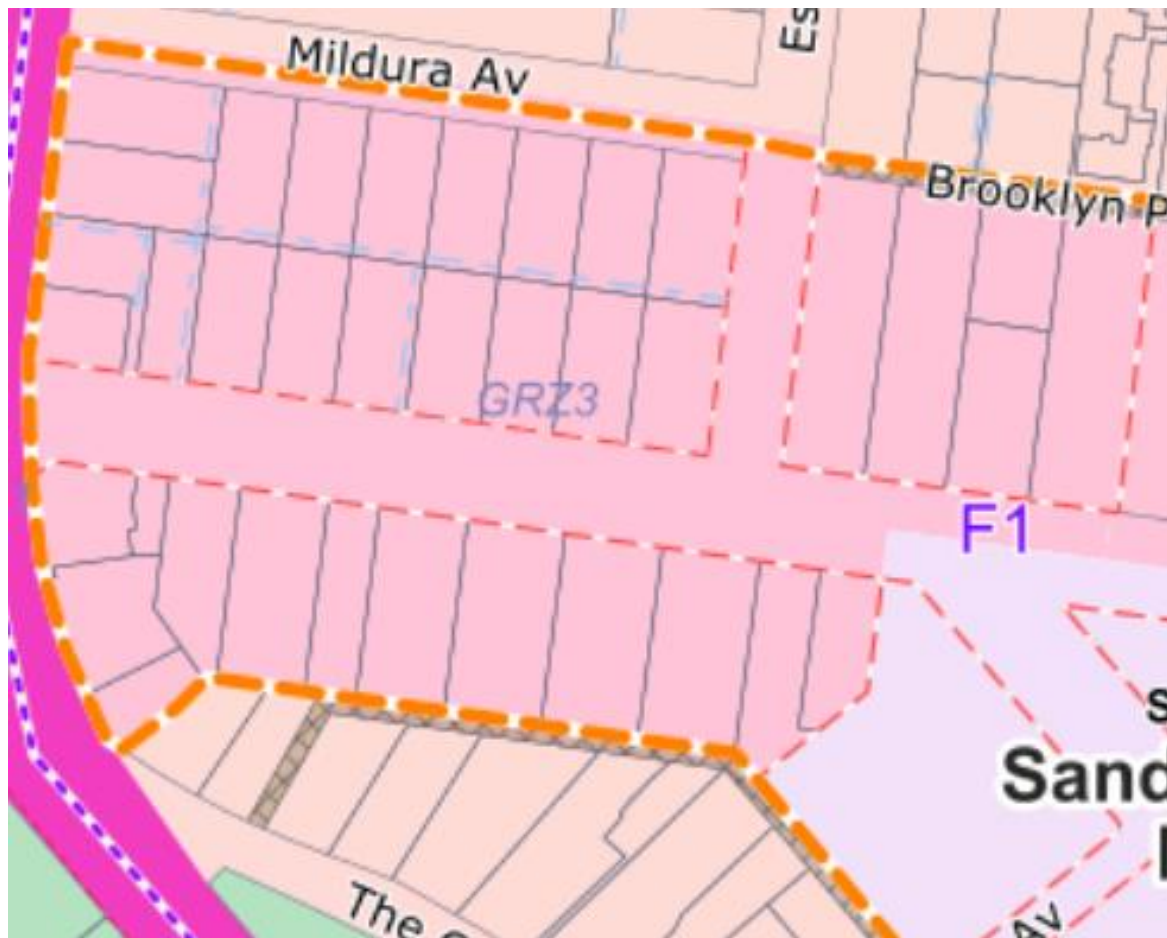


Figure 16 – Review Area: Precinct F1, General Residential Zone (Schedule 2) – Southern portion of the Sandringham Activity Centre



## Preferred Future Character

The following provisions and policies currently guide built form in the Sandringham Village activity centre:

- Sandringham Village Structure Plan, 2006
- General Residential Zone, Schedules 1, 2 and 3
- Design and Development Overlay, Schedule 8
- Bayside Neighbourhood Character Precinct F1

The table summarises the guidance or provisions from each of the above policy documents and identifies whether these elements can be addressed in an updated preferred future character policy or whether they are implemented through a different tool.

Policy	Provisions that relate to neighbourhood character	Is this able to be translated into the new GRZ Schedule
The Sandringham Village Structure Plan, 2006	Provide adequate off-street parking for all new dwellings.	Not necessary, this is sufficiently addressed by Clause 52.06
	Encourage redevelopment of larger sites and grade level car parks for residential with basement car parking.	Not necessary, this is addressed by the zone
	Retain the residential land use of the precinct.	Not necessary, this is addressed by the Zone.
	Encourage additional housing in established residential neighbourhoods that is in keeping with the preferred future character of the areas as outlined in the Bayside Neighbourhood Character Policy (Bayside Planning Scheme Clause 15.01-5S)	Not necessary, this is sufficiently addressed by the Local policy (now located at clause 15.01-5S)
	Encourage residential development close to shops and services to provide a transition from commercial areas to low scale residential areas.	Not necessary, this is addressed by the land use zoning of residential near commercial.
General Residential Zone, Schedule 1, 2 and 3	Contains no neighbourhood character objectives	N/A
Design and Development Overlay, Schedule 8	To ensure that the height of new development is compatible with the preferred future role and character of the Hampton Street Major Activity Centre.	Not necessary, the height is set by the parent provision of the GRZ.
	To develop the centre in a way that conserves and enhances its valued urban character and heritage places.	Yes

	To ensure that new development contributes to safe and active streets.	Yes
	To maintain a strong landscape character with residential buildings set within vegetated front gardens and streetscapes in the residential precincts.	Yes.
	To recognise the significance of the Sandringham Hotel site as a result of its gateway, foreshore location.	Not necessary, this building's significance documented in the Sandringham Village Structure Plan.
Bayside Neighbourhood Character Precinct F1	Encouraging the retention of pre-WWII era dwellings.	This can be encouraged but not mandated without a Heritage Overlay.
	Reflecting the lightness of the streetscape using appropriate building materials and finishes and variety in the texture of buildings	Yes
	Encouraging the retention and planting of trees and landscaped gardens	Yes
	Strengthening the bayside vegetation character of the area	This is covered by the above point.
	Ensuring the building setbacks reflect the existing spacing and contribute to the informality of the dwelling setting.	Yes
	Ensuring that new development respects the dominant building scale and forms of the streetscape	Yes
	Ensuring development along Beach Road reflects the coastal setting and interface with the foreshore reserve	Yes, for the relevant areas
	Ensuring front fences are open style and appropriate to the building era.	Yes

### **Summary (translation into a GRZ Schedule)**

There are two moderate residential growth areas in the Sandringham Activity Centre, the General Residential Zone – Schedule 2 (GRZ2) and the General Residential Zone – Schedule 3 (GRZ3).

The GRZ2 is the typical moderate growth zoning across the major activity centres in Bayside.

GRZ3 is still moderate residential growth but only in the coastal locations of Hampton Street Major Activity Centre and Sandringham Major Activity Centre.

Therefore, to reflect their differences, there are two sets of key objectives for new development within the Sandringham Major Activity Centre, one for the GRZ2 and one for the GRZ3.

New development in the residential areas of the Sandringham Major Activity Centre within the General Residential Zone, Schedules 2:

1. Be sympathetic to existing character, particularly heritage places and pre-WWII buildings
2. Be set within vegetated front gardens
3. Have open front fencing styles.
4. Have recessed upper storeys and attic-style development.
5. Contain basement carparking

New development in the coastal residential areas of the Sandringham Major Activity Centre within the General Residential Zone, Schedule 3 should:

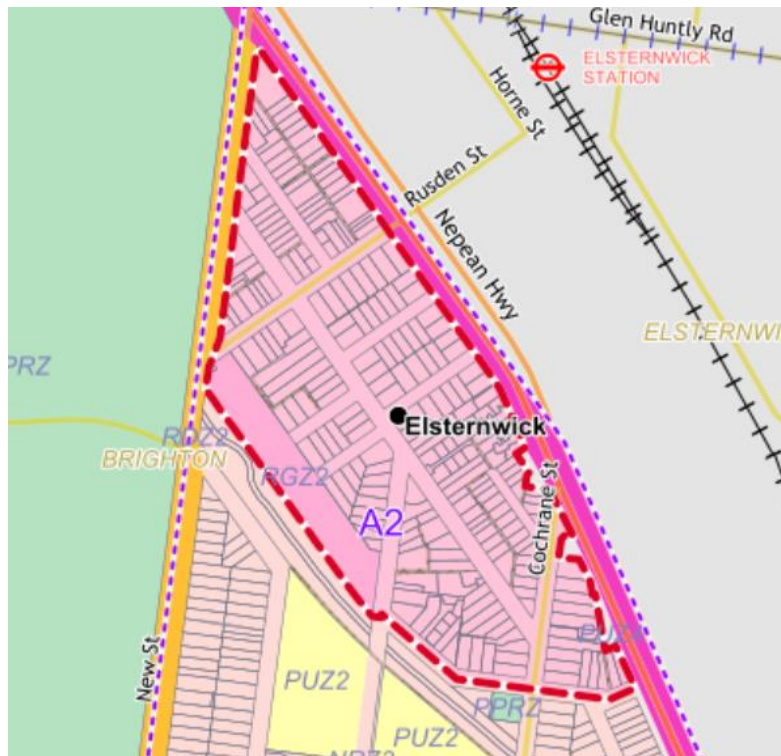
1. To be sympathetic to existing character, particularly the coastal setting, heritage places and pre-WWII buildings.
2. To be set within vegetated front gardens.
3. To have open front fencing styles.
4. To create a visually interesting and attractive built form interface with the foreshore reserve.
5. To encourage innovative architecture that reflects the coastal setting.

## Elsternwick Housing Growth Area

Elsternwick Activity Centre, which is a Housing Growth Area, is located to the south of the corner of the New Street and Glen Huntly Road, it is bounded by New Street to the west, and Nepean Highway to the east. It is the northern most point of the municipality and is approximately 10 kilometres from the CBD.

It is well serviced by public transport with the Elsternwick Railway Station conveniently located approximately 300m to the north east of the centre.

**Figure 17 - Map of Elsternwick Activity Centre**



### Existing character

The corner of Nepean Highway and New Street there is a five storey apartment building built to the boundary of the highway. South of this building, the houses along the Nepean Highway are setback via a service road, are on fine grain lots and are mainly traditional brick and weatherboard.

Behind the Nepean Highway, the precinct is distinctive for its concentration of pre World War II dwellings, predominantly single storey Victorian and Federation styles, with some more recent infill development. The detached dwellings are set forward on the block with small front and side setbacks and prominent high pitched, hipped and gabled terracotta tile roofs.

Gardens are small and low-level, with street trees providing a majority of tree canopy in the streetscapes. The compact building form is offset by the frequent use of weatherboard and bagged brick, which gives the streetscapes a lightness in appearance. Driveways are uncommon, however, when they exist, they extend only into the front garden. Front fences are usually provided and are often high and open in style. There is a sense of spaciousness within the streetscape due to the wide streets and verges.



## Preferred Future Character

The following provisions and policies currently guide built form in the Elsternwick activity centre:

- General Residential Zone, Schedule 2
- Design and Development Overlay, Schedule 2
- Bayside Neighbourhood Character Precinct A1

The table summarises the guidance or provisions from each of the above policy documents and identifies whether these elements can be addressed in an updated preferred future character policy or whether they are implemented through a different tool.

Policy	Provisions that relate to neighbourhood character	Is this able to be translated into the new GRZ Schedule
General Residential Zone, Schedule 2	Contains no neighbourhood character objectives	N/A
Design and Development Overlay, Schedule 2	To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.	This is an overall goal that the updated schedules will achieve but can't be explicitly included.
	To preserve the existing character and amenity of the areas as low rise (up to two storeys) suburban areas with a strong garden character.	Not necessary, the height is set by the parent provision of the GRZ.
	To maintain the prevailing streetscape rhythm, building scale and height of neighbourhoods.	Height is set by the parent provision of the GRZ. Rhythm and scale can be included.
	To maintain a strong landscape character with buildings set within vegetated surrounds.	Yes.
Bayside Neighbourhood Character Precinct A2	Encouraging the retention of pre WWII era dwellings.	This can be encouraged but not mandated without a Heritage Overlay.
	Ensuring buildings are set back from the front boundary in accordance with the prevailing setbacks in the street	Yes
	Ensuring buildings are set back from at least one side boundary.	Yes

	Ensuring new dwellings and extensions respect the fine grain subdivision pattern and single storey scale of the area.	Yes, however height is set by the parent provision of the GRZ.
	Ensuring the car parking facilities do not dominate the streetscape.	Yes
	Encouraging the use of lighter building materials that complement the frequent weatherboard of most streetscapes.	Yes
	Ensuring front fences are low or medium height, open in style and appropriate to the building era.	Yes

### Summary (translation into a GRZ Schedule)

By combining the objectives that relate to specifically to neighbourhood character policy, the following key objectives for this area can be summarised as follows. New development in the Elsternwick Housing Growth Area should:

1. To be sympathetic to existing character, particularly the pre WWII buildings
2. To retain the areas largely 1 and 2 storey character by recessing any 3rd storey.
3. To setback buildings from at least one side boundary.
4. To encourage a mix of housing types including town houses, units and detached houses with front gardens, back gardens and greenery.
5. To have open front fencing styles.

## Pennydale, Housing Growth Area

Pennydale, is a Housing Growth Area, and is located to the south of Bay Road, bounded by the Frankston railway line to the east, Park Road to the south and Jack Road to the west. It is approximately 19 kilometres from the CBD.

It is well serviced by public transport with the Southland Railway Station conveniently located on the eastern boundary of the centre. Southland shopping centre is located on the other side of the railway line to the east, with the Bayside Business district close by to the west.

**Figure 18 - Map of Pennydale Activity Centre**



### Existing character

Pennydale is predominately residential, with a small local convenience shopping strip on the corner of Bay and Jack Road (Bay and Jack Road Small Neighbourhood Activity Centre).

The elements that contribute to the neighbourhood character of the area include low scale (1 and 2 storey) dwellings. The dwellings are predominately 1950's with some early 1960's architecture. They sit within established gardens with large native and exotic trees, have pitched roof forms, low front fencing that gives a sense of openness to the streetscape with consistent front and side setbacks that provide spacious visual separation between buildings. There are however an increasing number of infill unit and townhouse developments

### Preferred Future Character

The following provisions and policies currently guide built form in the Pennydale activity centre:

- General Residential Zone, Schedule 2
- Design and Development Overlay, Schedule 2
- Bayside Neighbourhood Character Precinct H5

A Pennydale Structure Plan was prepared and developed via extensive consultation with the local community. The structure plan was ultimately abandoned as the Minister for Planning refused to authorise the planning scheme amendment to implement the Structure Plan. Therefore, Council decided to retain the exiting planning controls.

In lieu of a structure plan to guide future development, the proposed preferred future character statements will help shape and manage the growth of Pennydale.

The table summarises the guidance or provisions from each of the above policy documents and identifies whether these elements can be addressed in an updated preferred future character policy or whether they are implemented through a different tool.

<b>Policy</b>	<b>Provisions that relate to neighbourhood character</b>	<b>Is this able to be translated into the new GRZ Schedule</b>
General Residential Zone, Schedule 2	Contains no neighbourhood character objectives	N/A
Design and Development Overlay, Schedule 2	To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.	This is an overall goal that the updated schedules will achieve but can't be explicitly included.
	To preserve the existing character and amenity of the areas as low rise (up to two storeys) suburban areas with a strong garden character.	Not necessary, the height is set by the parent provision of the GRZ.
	To maintain the prevailing streetscape rhythm, building scale and height of neighbourhoods.	Height is set by the parent provision of the GRZ. Rhythm and scale can be included.
	To maintain a strong landscape character with buildings set within vegetated surrounds.	Yes.
Bayside Neighbourhood Character Precinct H5	Encouraging the retention and planting of trees and garden planting.	Yes
	Ensuring buildings are set back from at least one side boundary.	Yes
	Ensuring buildings respect the low scale nature of the streetscapes	Yes

	Using building materials and finished that complement the natural location	Yes
	Ensuring buildings and extensions are sited and designed so as not to dominate the streetscape.	Yes
	Encouraging no, low or open style front fences	Yes

### Summary (translation into a GRZ Schedule)

By combining the objectives that relate to specifically to neighbourhood character policy, the following key objectives for this area can be summarised as follows:

1. To maintain the area's green, leafy and treed character with buildings sitting within a canopy tree, garden setting.
2. To maintain the visual separation between buildings.
3. To retain the areas largely 1 and 2 storey character by recessing any 3rd storey.
4. To encourage a mix of housing types including town houses, units and detached houses with front gardens, back gardens and greenery.



## Cheltenham Housing Growth Area

Cheltenham Activity Centre, is a Housing Growth Area, is bound by Cheltenham Primary School to the north, Charman Road to the east, Cheltenham Recreation Reserve to the west, and Weatherill Road to the South. It is approximately 19 kilometres from the CBD.

It is well serviced by public transport with the Cheltenham Railway Station conveniently located 250m north. Cheltenham a Major Activity (which is within the City of Kington) is to the east and north east of the site.

**Figure 19 - Map of Cheltenham Housing Growth Area**



### Existing character

This is a green and leafy area originally developed in the immediate Post-War era. The dwellings are predominantly homes built in the 1950s and 1960s, are modest in scale (generally single storey with large setbacks) and have pitched roofs. Interspersed with these dwellings are newer developments, which are more often double storey and with smaller setbacks.

There is abundant mature tree cover in gardens, including in front gardens, and in the form of street trees. Some streetscapes are dominated by trees rather than buildings, and this impression is assisted by a frequent lack of front fencing, or front fences that are either low or open. Generously wide nature strips contribute to the general green and leafy character

### Preferred Future Character

The following provisions and policies currently guide built form in the Pennydale activity centre:

- General Residential Zone, Schedule 2
- Design and Development Overlay, Schedule 2
- Vegetation and Protection Overlay, Schedule 3

- Bayside Neighbourhood Character Precinct H2

The table summarises the guidance or provisions from each of the above policy documents and identifies whether these elements can be addressed in an updated preferred future character policy or whether they are implemented through a different tool.

<b>Policy</b>	<b>Provisions that relate to neighbourhood character</b>	<b>Is this able to be translated into the new GRZ Schedule</b>
General Residential Zone, Schedule 2	Contains no neighbourhood character objectives	N/A
Design and Development Overlay, Schedule 2	To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.	This is an overall goal that the updated schedules will achieve but can't be explicitly included.
	To preserve the existing character and amenity of the areas as low rise (up to two storeys) suburban areas with a strong garden character.	Not necessary, the height is set by the parent provision of the GRZ.
	To maintain the prevailing streetscape rhythm, building scale and height of neighbourhoods.	Height is set by the parent provision of the GRZ. Rhythm and scale can be included.
	To maintain a strong landscape character with buildings set within vegetated surrounds.	Yes.
Vegetation and Protection Overlay, Schedule 3	To prevent the loss of native and particularly indigenous vegetation incurred by development	Yes
	To retain the amenity, aesthetic character and habitat value of Australian native vegetation and indigenous vegetation in particular within the Beaumaris and Black Rock area.	Yes
	To promote the regeneration and replanting of indigenous species in the Beaumaris and Black Rock area	Yes
Bayside Neighbourhood Character Precinct H2	Ensuring the retention of existing large trees and the planting of new trees, including indigenous species.	Yes

	Ensuring buildings are set back a substantial distance from at least one side boundary.	Yes
	Ensuring the plan form and elevations of new development are well articulated and use simple detailing;	Yes
	Using building materials and finishes that complement the natural location	Yes
	Ensuring front fences are not provided, or are low or of transparent style.	Yes

### Summary (translation into a GRZ Schedule)

By combining the objectives that relate to specifically to neighbourhood character policy, the following key objectives for this area can be summarised as follows:

1. To maintain the area's green, leafy and treed character with buildings sitting within a canopy tree, garden setting.
2. To maintain the visual separation between buildings.
3. To retain the areas largely 1 and 2 storey character by recessing any 3rd storey.
4. To encourage a mix of housing types including town houses, units and detached houses with front gardens, back gardens and greenery.

## General Residential Zones Areas outside the review

### Highett Major Activity Centre

There is currently a Planning Scheme Amendment underway to implement the Highett Structure Plan, 2018 by introducing new residential zone schedules.

The zone schedules include future character statements, so there is no need for the General Residential Zones in Highett to be included in the review.

**Figure 20 – Map of Highett Major Activity Centre**



### Private Golf Course (Royal Melbourne)

The private golf course at the southern end of Bayside is also in a GRZ. However, it is controlled by Schedule 8 to the GRZ which specifies that it is a minimal residential growth area. The golf course is not a part of this character review.

**Figure 21 – Private Golf Course**

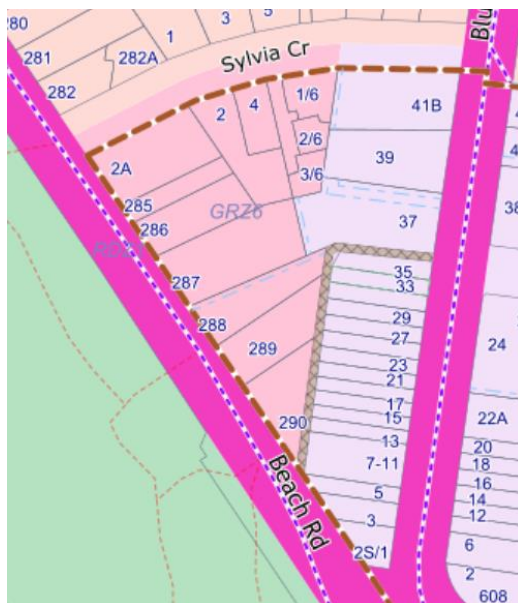


### Black Rock Neighbourhood Activity Centre

The GRZ area in Black Rock is controlled by Schedule 6 to the GRZ, it is not part of this character review. There are only 12 parcels of land affected by the GRZ6.

There is a Black Rock Neighbourhood Activity Centre Framework Plan which was written in 2009 and reviewed in July 2012. This already adequately outlines built form outcomes for this area.

**Figure 22 – Map of Black Rock Neighbourhood Activity Centre**

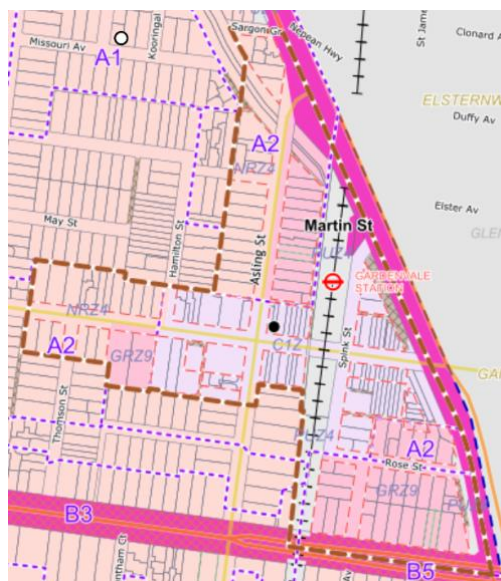


### Martin Street Neighbourhood Activity Centre

The GRZ area in Martin Street is controlled by Schedule 9 to the GRZ, it is not part of this character review.

Martin Street Structure Plan was completed in March 2016, which already outlines the built form outcome for this area.

**Figure 23 – Map of Martin Street Neighbourhood Activity Centre**

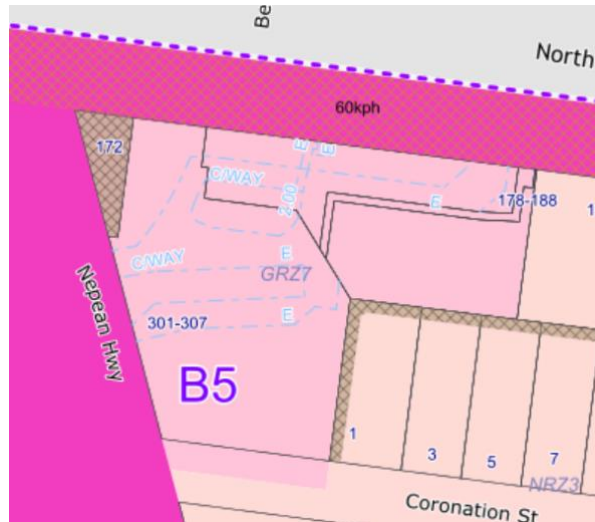




### Corner of Nepean Hwy and North Road, Brighton East

The south east corner of the Nepean Highway and North Road is a strategic redevelopment site, it is a gateway site, redevelopment is controlled by Schedule 7 of the General Residential Zone. GRZ7 only covers three sites in this location and it is not part of this character review.

Figure 24 – Map of the cnr Nepean Hwy and North Road

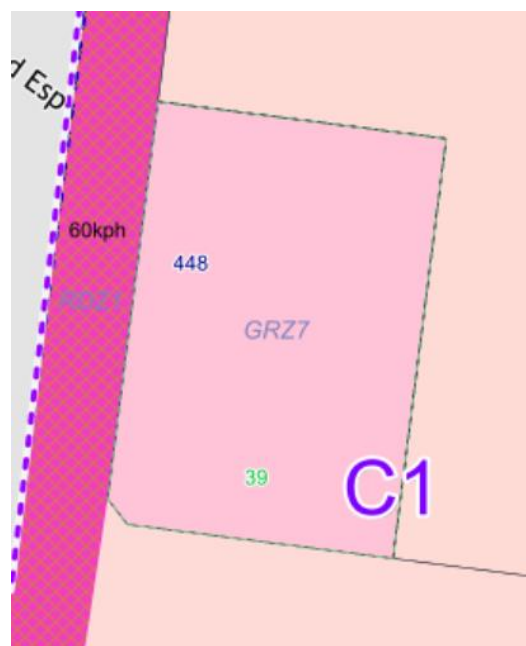


### Corner of St Kilda Street and Head Street, Brighton

The south east corner of the Nepean Highway and North Road is a strategic redevelopment site, it is a gateway site, redevelopment is controlled by Schedule 7 of the General Residential Zone. GRZ7 only covers one parcel of land at this location.

The site is currently at the late stages of redevelopment as a three storey apartment block, there would be little value to include this in the review.

Figure 25 – Map of the cnr St Kilda and Head Street



## Next Steps

Following the current engagement period, Council will review all feedback and consider any changes that may need to be made to the draft character objectives before preparing the new controls. These objectives and controls will then be formatted into draft GRZ schedules.

Council will then seek authorisation from the State Government to begin a Planning Scheme Amendment to implement the draft GRZ schedules into the Bayside Planning Scheme. This is necessary as implementation into the planning scheme is what will allow the new controls to be enforceable on new development applications.

The Planning Scheme Amendment process will include an exhibition period where everyone will have another opportunity to provide their feedback on the GRZ schedules through the form of written submissions. Every submission will be considered by Council as well as an independent Planning Panel. All people who were notified of, or provided feedback in the current engagement period will be notified when the second exhibition period will occur.

### **How to Have Your Say on Preferred Character of GRZ's**

Council's Have Your Say project website: <https://yoursay.bayside.vic.gov.au/GRZcharacter> has an interactive map which will allow you to type in your address to see whether you are within the General Residential Zone and what Character Precinct affects your property.

You can also complete the online survey on the Preferred Character Precincts within the General Residential Zone on the project website. The survey contains questions to help us to understand what is important to you regarding the preferred future character. At the end of the survey there is an opportunity for any other comments.

The Have Your Say page also contains details on a range of other engagement methods available to the community. This includes an online webinar, drop-in sessions and the ability to book a meeting with a planner.

To find out more, please contact Strategic Planning via [planningstrategy@bayside.vic.gov.au](mailto:planningstrategy@bayside.vic.gov.au) or 03 9599 4441.